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A



PROPOSAL FOR
385 BROADWAY
SOMERVILLE, MA

PROPERTY OWNER

True North Capital Partners
15 Dolores Ave • Waltham MA 02116
C 774.270.1223 • F 978.405.505

PROPERTY INFORMATION			
LOCATION	383 BROADWAY #COMM		
ASSESSOR MAP/BLOCK/UNIT	Mblu 477 G/ 11/ COMM/		
ZONING DISTRICT	RC		
NAME & ADDRESS OF PROPERTY OWNER	SOMERVILLE SQUARE LLC		
	P.O. BOX 424, WINCHESTER, MA		
NAME & ADDRESS OF APPLICANT	DEEP CUTS DELI LLC		
	523 MAIN ST, MEDFORD, MA 02155		
ZONING TABLE / SUMMARY			
USE	REQUIRED	PROVIDED	COMMERCIAL UNIT RESTAURANT / BAR
NO. OF DWELLING UNITS		63	0
LOT AREA	7,500 SF	43,890 SF	954
LOT AREA PER DWELLING UNIT	1,000S.F.	696.7 SF	
GROSS FLOOR AREA OF FOOTPRINTS OF ALL BUIDLINGS		27,597 SF	
GROUND COVERAGE	70% MAX	63%	
LANDSCAPED AREA	25%	6%	
PERVIOUS AREA	30%	6%	
NET FLOOR AREA		76,182 SF	
FLOOR AREA RATIO	2	2.12	
BUILDING HEIGHT	40'0"	64'0"	
FRONT YARD SETBACK	15'0"	0"	0
REAR YARD SETBACK	20'0"	0"	0
SIDE YARD SETBACK (LEFT)	1/3 bldg. height	2 3/8"	0
SIDE YARD SETBACK (RIGHT)	1/3 bldg. height	2 3/8"	0
STREET FRONTAGE	50'0"	200'9 5/8"	20'6"

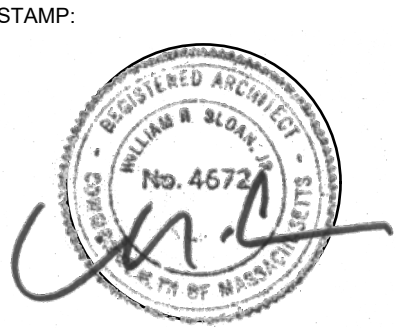
DRAWING LIST	
A1	SITE PLAN
A2	PLOT PLAN
A3	PROPOSED FLOOR PLAN
A4	PROPOSED BASEMENT PLAN
A5	ELEVATIONS
A6	RENDERINGS
A7	CONTEXT PHOTOS



Project Title:
Deep Cuts Deli & Brewery
385 Broadway
Somerville, MA

Jeff Wetzel & Ian McGregor
523 Main St, Medford, MA
781-864-5846

Set Issue Title:
Special Permit Application



WILLIAM SLOAN ASSOCIATES
ARCHITECTS
553 MAIN ST., WINCHESTER, MA 01890

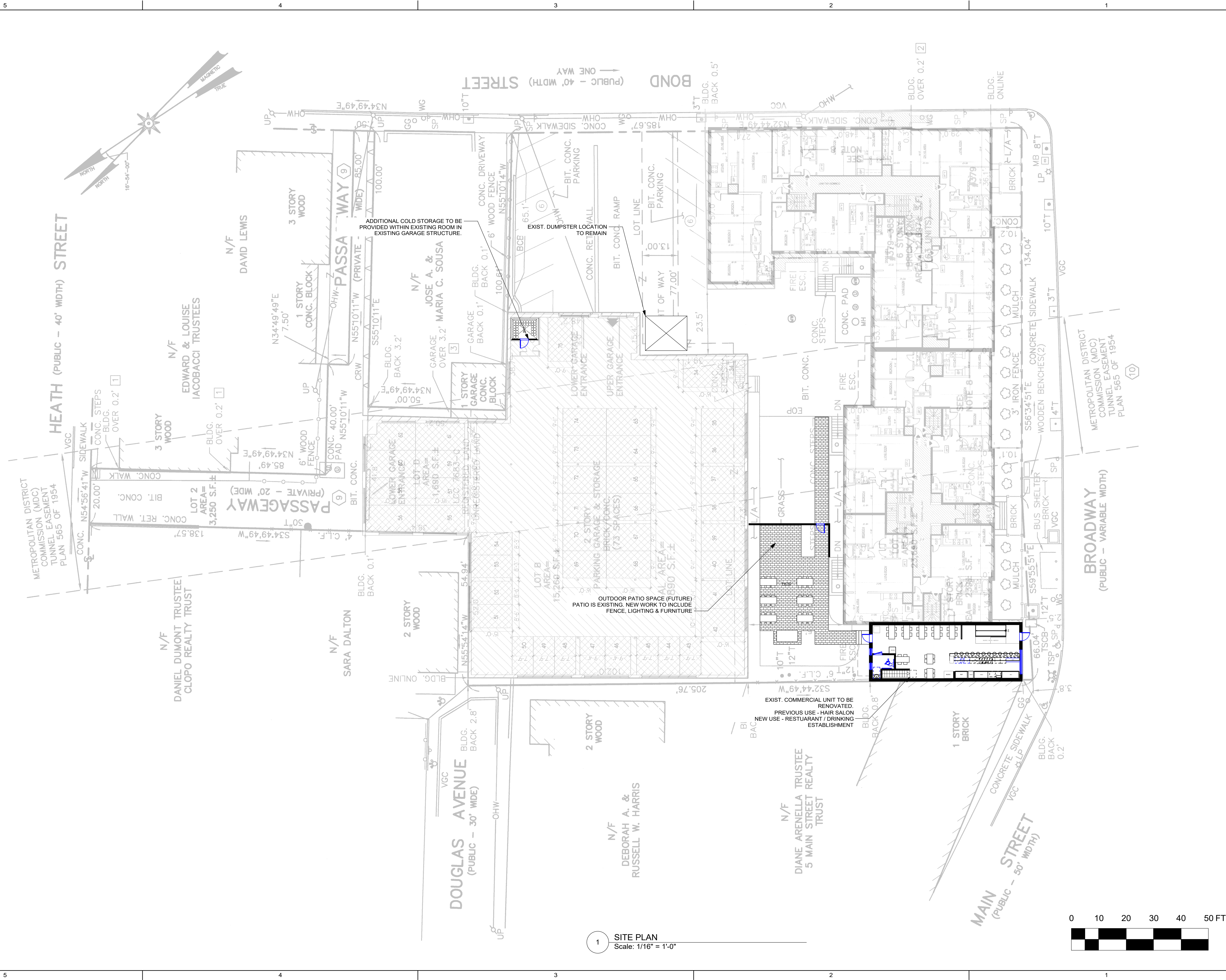
Issues / Revisions		
No.	Date	Notes

Designed By: _____
Project Manager: _____
Drawn By: _____
Date: _____
Drawing Title

COVER SHEET

Scale _____
Drawing No. _____

A0



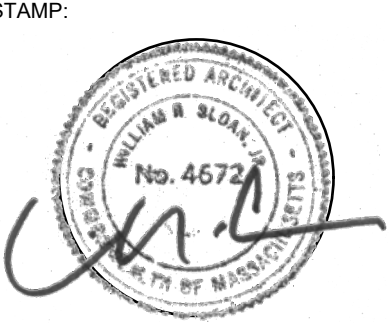
1 SITE PLAN
Scale: 1/16" = 1'-0"



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Drawing Title

SITE PLAN

Scale
Drawing No.

A1

METES & BOUNDS DESCRIPTION

PARCEL I

A certain parcel of land with the buildings thereon now known and numbered as 10-12 Bond Street, Somerville, Middlesex County, Massachusetts, bounded and described as follows :

Being shown as lot lettered "A" and part of lot lettered "B" on a plan entitled "Plan of Land in Somerville, Mass." dated January 26, 1926, Charles J. Elliot, Engineer and Surveyor, recorded with Middlesex South District Deeds in Book of Plans 368, Plan 50, and being together bounded and described as follows:

SOUTHEASTERLY: by Bond Street, one hundred eighty-five and 67/100 (185.67) feet;

SOUTHWESTERLY: by Broadway by two lines measuring one hundred thirty-four and 04/100 (134.04) feet and sixty-six and 04/100 (66.04) feet respectively;

NORTHWESTERLY: by lands now or formerly of Arthur T. Nelson, Trustee, and now or formerly of Ida De Leo and by Douglas Avenue as shown on said plan, two hundred five and 76/100 (205.76) feet;

NORTHEASTERLY: in part by land now or formerly of Michael D. Steele et al and in part by the parcel of registered land described in Certificate No. 165349, ninety-nine and 95/100 (99.95) feet;

SOUTHEASTERLY: again by land now or formerly of Anna B. Forbes, et al, twelve and 74/100 (12.74) feet; and

NORTHEASTERLY: again by said last mentioned land, one hundred and 61/100 (100.61) feet.

For Grantor's title, see Deed of Burton F. Faulkner, Jr. et al Trustees, dated September 30, 1986, and recorded with said Deeds in Book 17457 Page 423.

PARCEL II

That certain parcel of land with the buildings thereon now known and numbered as 379-385 Broadway, in Somerville, Middlesex County, Massachusetts, bounded and described as follows :

NORTHEASTERLY: by Heath Street, twenty (20) feet;

SOUTHEASTERLY: by Lot C as shown on plan hereinafter mentioned eighty-five and 49/100 (85.49) feet;

NORTHEASTERLY: by said Lot C, forty (40) feet;

SOUTHEASTERLY: by Lot 1 on said plan, seven and 50/100 (7.50) feet;

NORTHEASTERLY: by said Lot 1 being the middle line of a passageway as shown on said plan, eightyfive (85) feet;

SOUTHEASTERLY: by Bond Street, seven and 50/100 (7.50) feet;

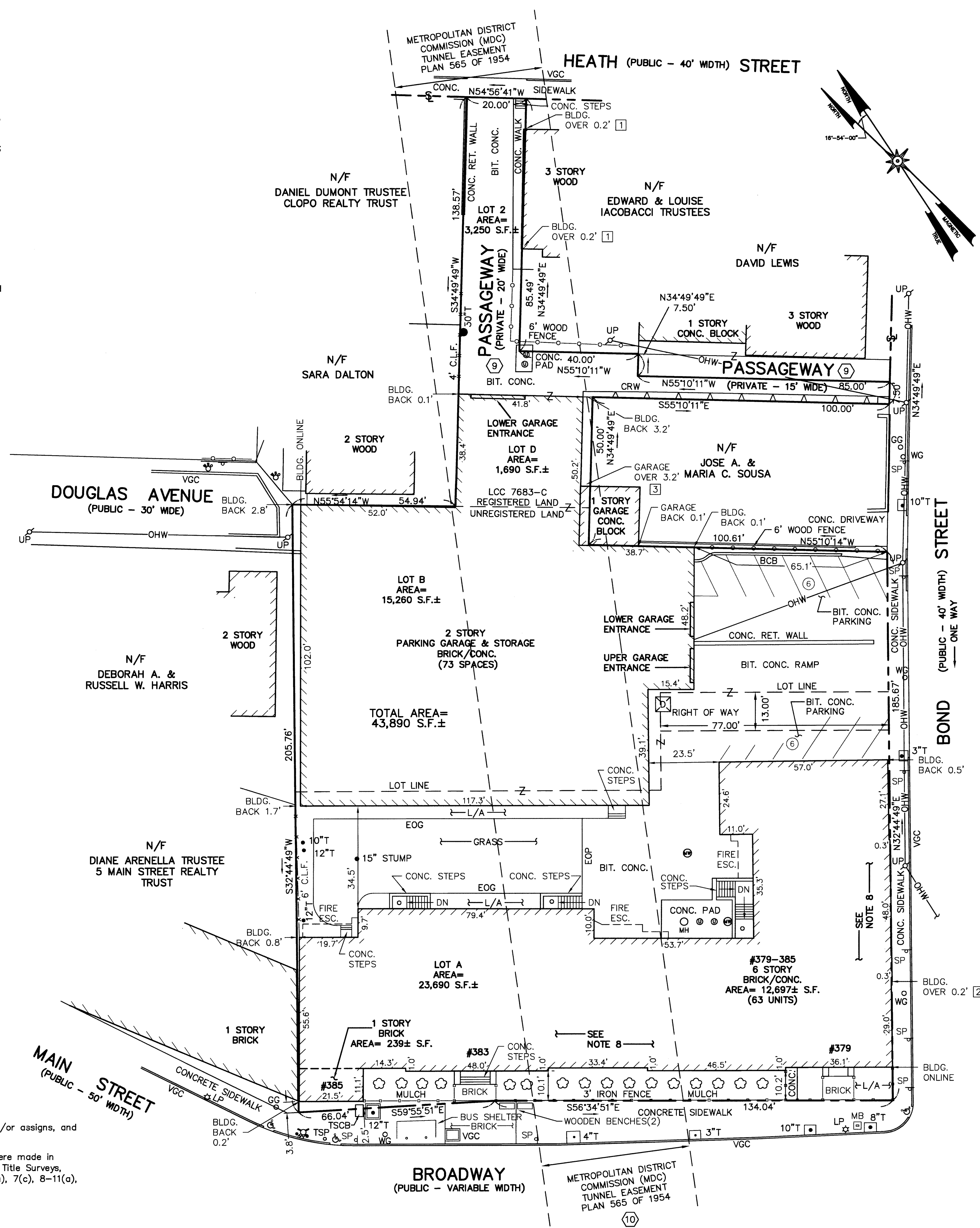
SOUTHWESTERLY: one hundred (100) feet; and

SOUTHEASTERLY: thirty-seven and 26/100 (37.26) feet by land now or formerly of the Old Colony Trust Company, Tr.;

SOUTHWESTERLY: by land now or formerly of Oren C. Sanborn, et al, forty-five and 01/100 (45.01) feet; and

NORTHWESTERLY: by lands now or formerly of Mary A. Steele, et al, and of John F. Murray, et al, Trustees, one hundred thirty-eight and 57/100 (138.57) feet;

Said parcel is shown as Lots D and 2 on said plan. (Plan No. 7683C).



NOTES:

1. THE PROPERTY SHOWN ON THE SURVEY IS THE SAME AS THAT IN THE METES & BOUNDS DESCRIPTION HEREON AND SCHEDULE A OF TITLE COMMITMENT NO. 16-0092JM-FN
2. UTILITIES SHOWN ON PLAN ARE FROM FIELD SURVEY OR RECORD PLANS AND LOCATIONS ARE APPROXIMATE.
3. PREMISES LOCATED IN FLOOD ZONE "X" (NO FLOOD HAZARD) PER MAP 25017C0438E, DATED JUNE 4, 2010.
4. METES & BOUNDS DESCRIPTION NOTED ON SURVEY IS AS DESCRIBED ON THE CURRENT OWNER'S DEED.
5. LOT CONSISTS OF FOUR CONTIGUOUS PARCELS
6. PROPERTY HAS ACCESS TO BROADWAY AND BOND STREET WHICH ARE PUBLIC RIGHT OF WAYS.
7. ASSESSOR'S MAP 47, BLOCK G, LOTS 10 & 11
8. STEEL FIRE ESCAPES ARE ATTACHED TO BUILDING ABOVE GRADE.

DEED REFERENCES:

BOOK 43962, PAGE 73

PLAN REFERENCES:

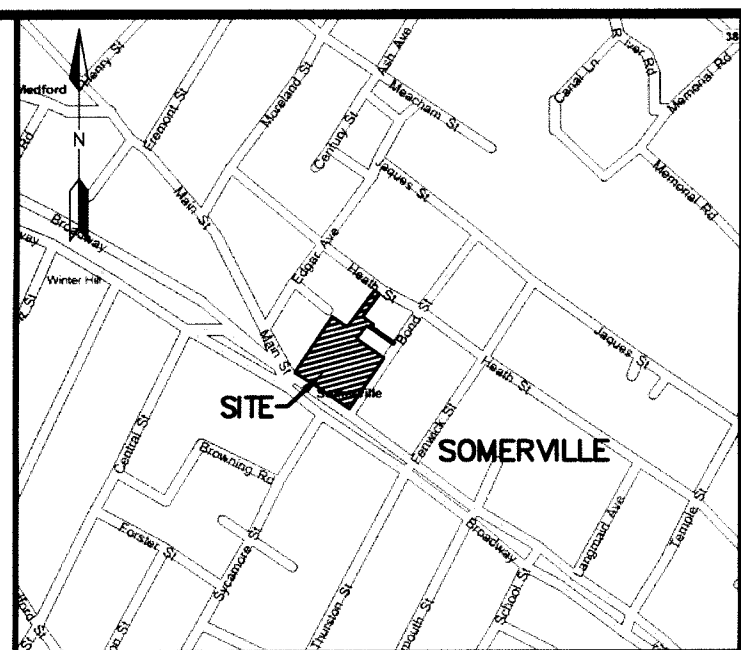
L.C. PLAN 7683C
L.C. PLAN 37153A
L.C. PLAN 7856
BK. 3800 PG. END
BK. 4667 PG. END
PL. BK. 368 PL. 50
PL. BK. 194 PL. 13
PLAN 565 OF 1954
DOCUMENT NO. 51617

ENCROACHMENTS

- 1 ABUTTER BUILDING 0.2' INTO PASSAGEWAY.
- 2 BROADWAY BUILDING 0.2' INTO BOND STREET RIGHT OF WAY.
- 3 ABUTTER GARAGE 3.2' INTO PREMESES.

SCHEDULE B EXCEPTIONS

- 1 TO 8 NOT PLOTTABLE
- 9 EASEMENTS ON 15' & 20' WIDE PASSAGEWAYS PLOTTED
- 10 TAKING FOR MDC TUNNEL EASEMENT PLOTTED.
- 11 MORTGAGE NOT PLOTTABLE
- 12 MORTGAGES AND ASSIGNMENTS NOT PLOTTABLE



LEGEND

—	PROPERTY LINE
—	STREET LINE
—	BUILDING LINE
—	EASEMENT LINE
BCB	BIT. CONC. BERM
CRW	CONC. RETAINING WALL
VGC	VERTICAL GRANITE CURB
EOP	EDGE OF PAVEMENT
EOG	EDGE OF GRASS
x—x—x	CHAIN LINK FENCE
—	WOOD FENCE
—	SANITARY SEWER
—	STORM DRAIN
—	ROOF DRAIN LINE
—	WATER LINE
—	FIRE PROTECTION LINE
—	GAS LINE
—	ELECTRIC LINE
—	TELEPHONE LINE
—	OVERHEAD WIRE
○	SMH
○	DMH
○	RD
○	DS
○	WMH
○	TMH
○	EMH
○	LB
○	CB
○	GW
○	UP
○	LP
○	WG
○	HYD.
○	FA
○	OPF
○	GS
○	GM
○	SP
○	BLDLS
○	SB
○	HH
○	L/A
○	TSP
○	TSCB
○	MONITORING WELL
○	DUMPSTER
○	SHRUBS/HEDGES
○	POINT OF BEGINNING
○	RADIUS
○	LENGTH
○	LAND COURT PLAN REFERENCE
○	RECORD PLAN REFERENCE
○	CONCRETE WHEEL STOP
○	GUARD RAIL
○	EXISTING PARKING COUNT
○	TREE

ZONING DISTRICT: -RESIDENTIAL- RC

ZONING DIMENSIONAL REQUIREMENTS		
DIMENSIONAL	MIN. REQ.	ACTUAL
AREA	7,500 S.F.	43,890± S.F.
AREA/DWELLING UNIT	1,000 S.F.	696.7 S.F.
FRONTAGE	50'	200.08'
FRONT YARD	15'	0.00'
SIDE YARD	SEE NOTE 1	0.20'
REAR YARD	20'	0.00'
LOT COVER	70% (MAX.)	63.0%
LANDSCAPE	25%	6.0%
F.A.R.	2.0	2.12
PERVIOUS AREA	30%	6.0%
BLDG. HEIGHT	3 STORIES/40'	6 STORIES/64'

NOTES:

1. THE SUM OF BOTH SIDE YARDS FOR 6 STORIES IS 3 BLDG. HT. + 3 BLDG. HEIGHT. = 64'
2. FOR 63 UNITS x 1,000 S.F./UNIT = 63,000 S.F.
3. LOT 2 IS THE PASSAGEWAY SHOWN- NO STRUCTURES.

ALTA/ACSM LAND TITLE SURVEY PLAN OF LAND

379-385 BROADWAY
SOMERVILLE, MA

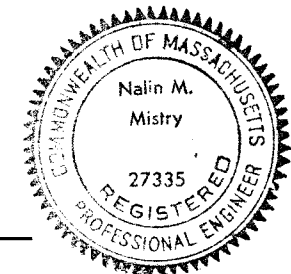
PREPARED FOR
TRUE NORTH CAPITAL PARTNERS

Mistry Associates, Inc.
315 Main Street
Reading, MA 01867
TEL: 781-944-6400 FAX: 781-944-0160

MAY 5, 2016 SCALE: 1"=20'

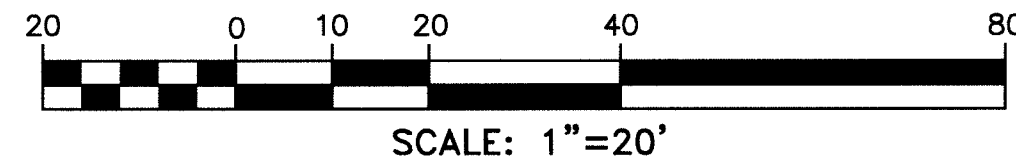
"To Broadway Somerville Apartments, LLC, Brookline Bank and their successors and/or assigns, and Fidelity National Title Insurance Company;

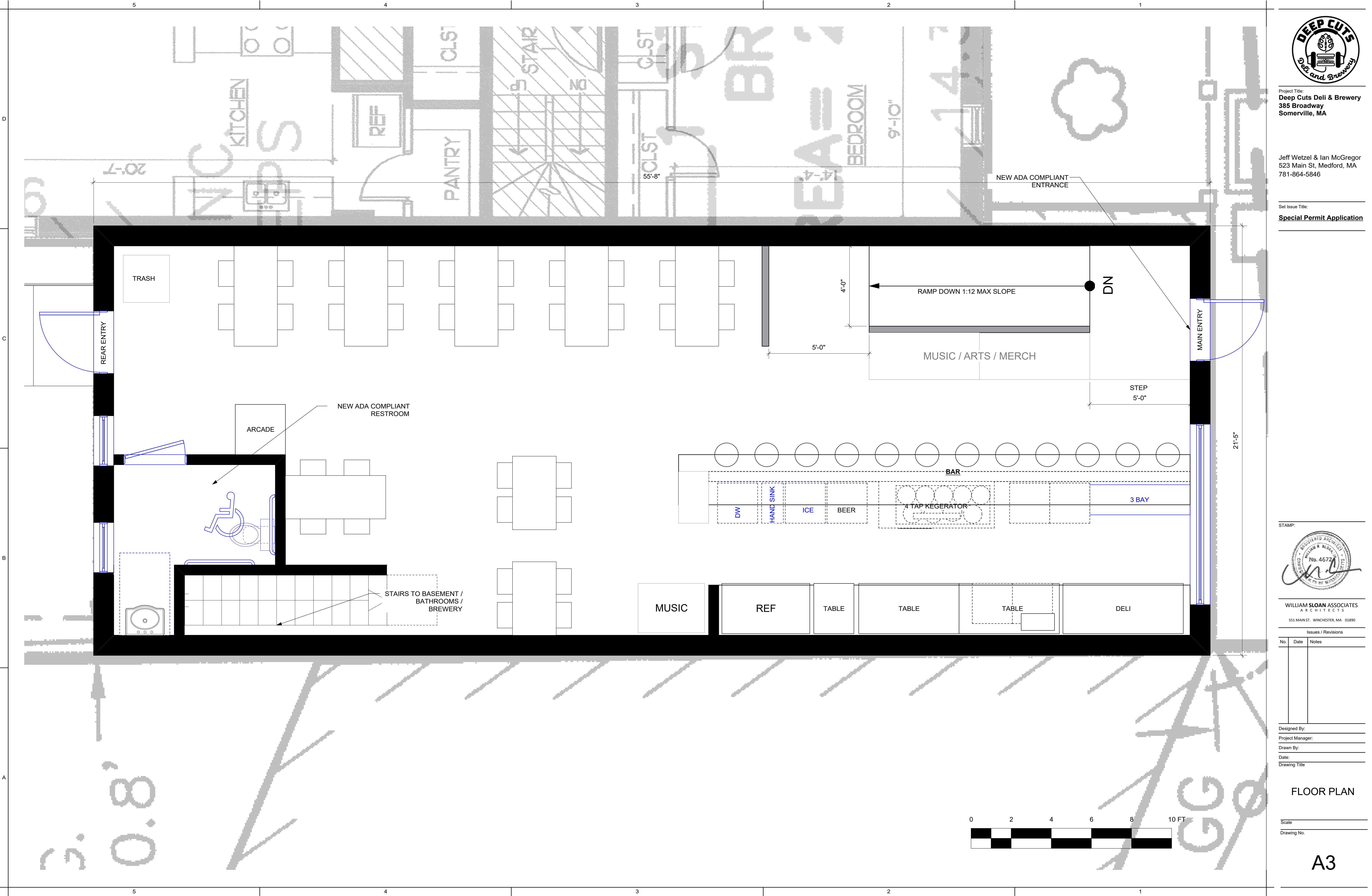
This is to certify that this map or plat and the survey on which it is based were made in accordance with 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1-4, 6, 7(a), 7(c), 8-11(a), 12 and 13 of Table A thereof. The field work was completed in April, 2016."



Registered Professional Engineer

Date





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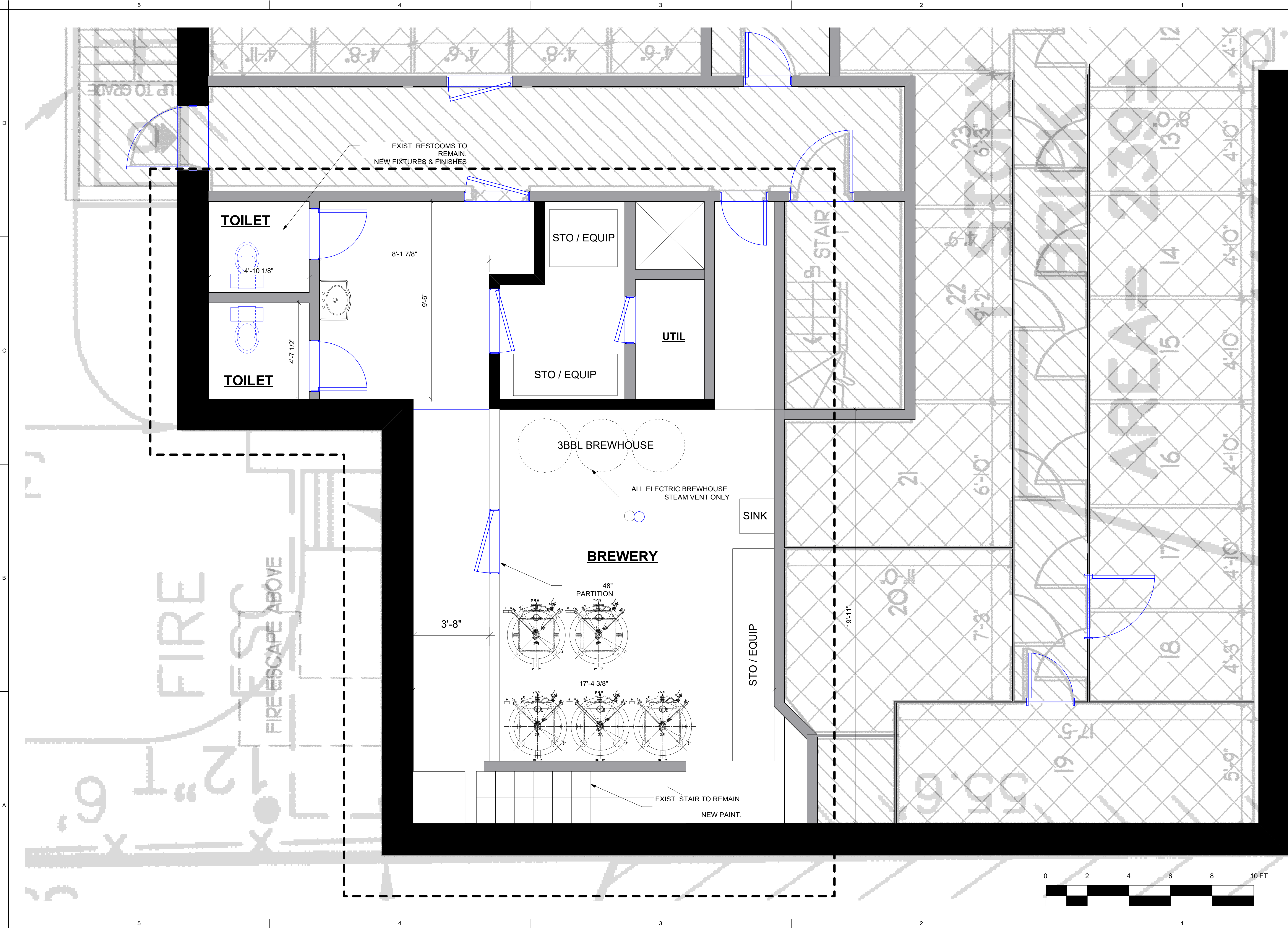
Issues / Revisions		
No.	Date	Notes

Designed By: _____
Project Manager: _____
Drawn By: _____
Date: _____
Drawing Title

FLOOR PLAN

Scale: _____
Drawing No.

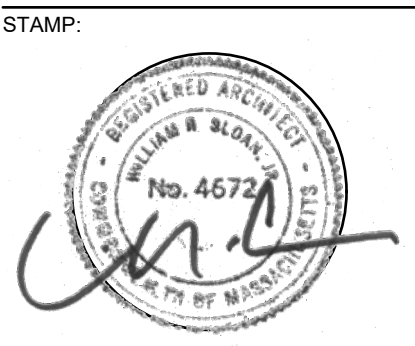
A3



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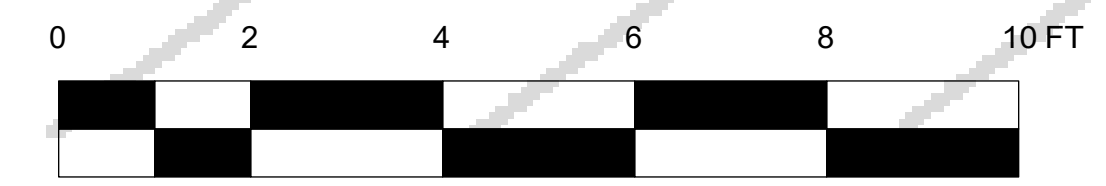
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Date: _____
Drawing Title

LOWER FLOOR PLAN

Scale _____
Drawing No. _____

A4

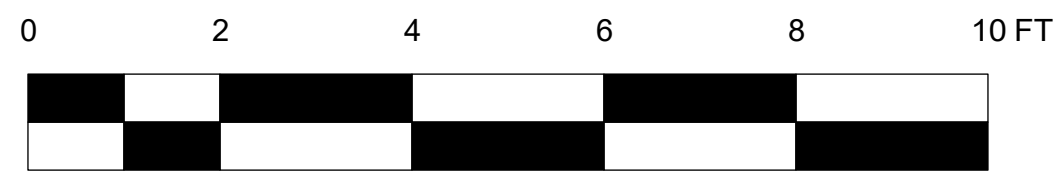




1 PROPOSED ELEVATION
Scale: 1/2" = 1'-0"



2 EXISTING ELEVATION
Scale: 1/2" = 1'-0"



- NOTES:**
- BUILDING ELEVATION IS TO REMAIN, WITH REPLACEMENT IN KIND OF SIGNAGE, DOORS, AND REFURBISHMENT OF WINDOWS. ADDITIONAL LIGHTING TO BE PROVIDED OVER THE FRONT OF THE BUILDING. ALL OTHER EXTERIOR ELEMENTS ARE TO REMAIN AS EXIST.
 - NO ADDITIONAL EQUIPMENT OR VENTING IS ANTICIPATED FOR THE FRONT OF THE BUILDING.
 - BREWING SYSTEM IS TO BE ALL ELECTRIC, AND ONLY REQUIRES STEAM VENTING WHICH WILL EXIT TO THE REAR IF THE BUILDING.
 - DELI EQUIPMENT IS ELECTRIC AND "HOODLESS" WITH NO OIL, AND DOES NOT REQUIRE VENITNG.
 - AIR CONDITIONING IS PROVIDED BY AN EXISTING THROUGH WALL UNIT MOUNTED AT THE REAR OF THE SPACE ABOVE THE REAR DOOR. THIS WILL REMAIN.
 - NEW BASEBOARD HEAT TO BE INSTALLED.

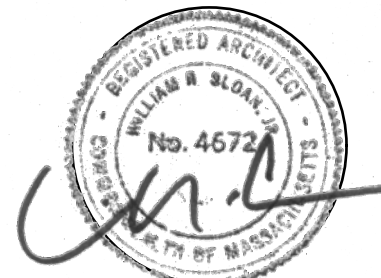


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Drawing Title

ELEVATIONS

Scale _____
Drawing No.

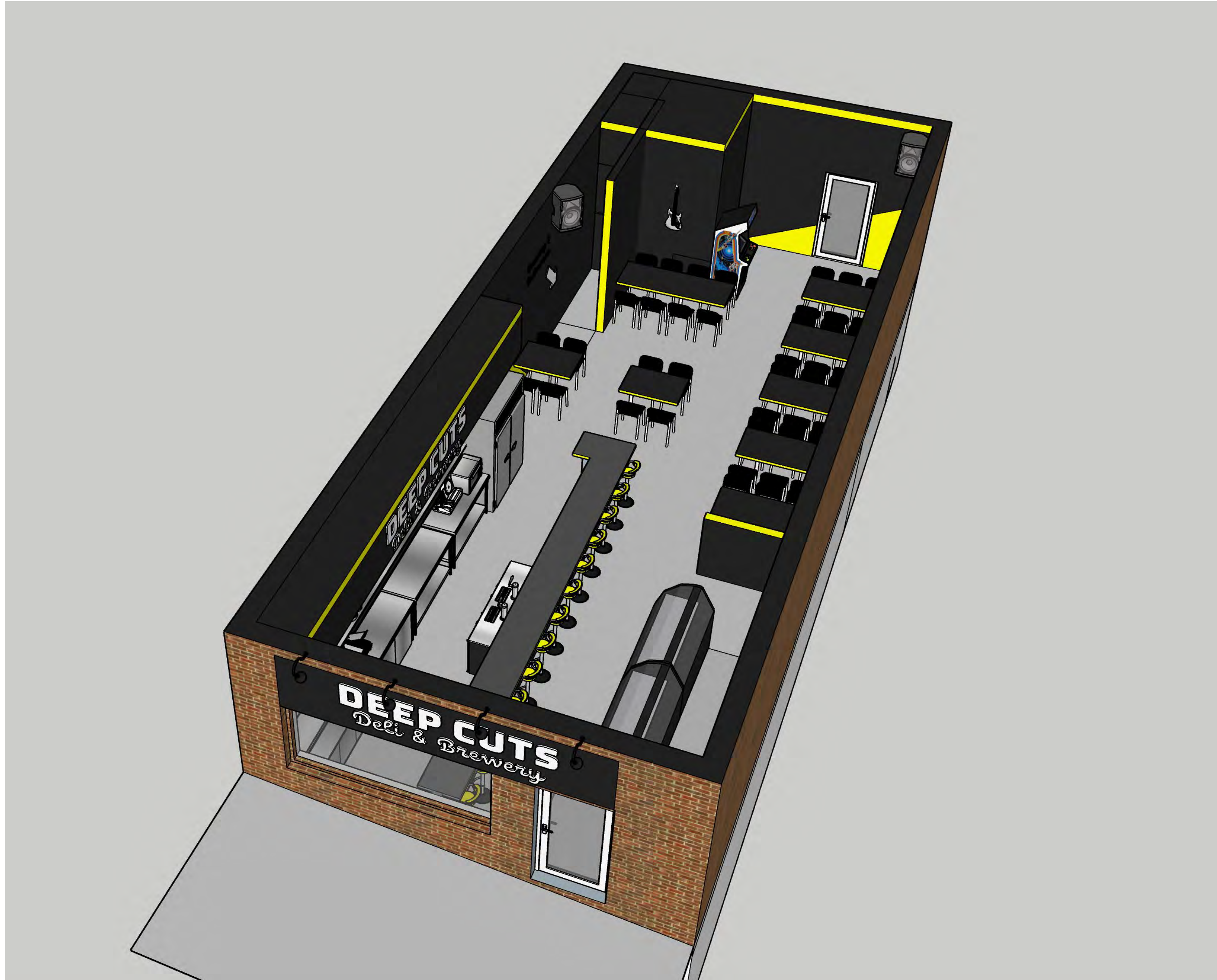
A5

D

C

B

A



PERSPECTIVE VIEW OF NEW DELI AND RESTAURANT



INTERIOR RENDERING OF MAIN FLOOR



SKETCH RENDERING OF REAR ELEVATION AND LOWER FLOOR BREWERY



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Drawing Title

RENDERINGS

Scale _____
Drawing No. _____



VIEW OF BUILDINGS / BUSINESS TO LEFT OF PROPOSED SITE



VIEW OF BUILDINGS / BUSINESS TO LEFT AND ATTACHED APARTMENT BUILDING
(LOURDES HAIR SALOON IS PROPOSED SITE)



VIEW OF ATTACHED APARTMENT BUILDING TO RIGHT
(LOURDES HAIR SALOON IS PROPOSED SITE)



STREET VIEW OF ATTACHED APARTMENT BUILDING AND PROPOSED SITE (LOURDES HAIR CARE)

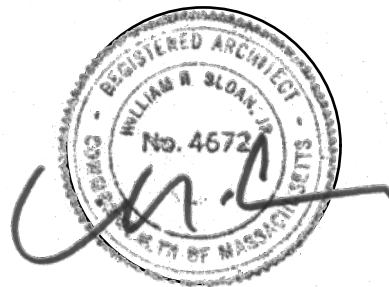


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**CONTEXT
PHOTOS**

Scale: _____
Drawing No.